

Home Improvements

Detached garages and carports

What you need
to know.



THE CITY OF
CALGARY
DEVELOPMENT &
BUILDING APPROVALS

calgary.ca/dba | call 3-1-1

I plan to build a detached garage. Do I need a Building Permit?

A Building Permit is required for all detached residential garages and carports. For permit requirements applicable to **attached** garages and carports, please refer to the brochure called *Additions to a residence*.

Other permits that may be required:

- **Before** applying for a Building Permit, it may be necessary to obtain a Development Permit. For more information, please refer to the brochure called *Development & building permits - Permit requirements for common home renovations*.
- Electrical, Plumbing, Gas, HVAC (Heating, Ventilation, Air Conditioning).

For more information on Development Permit requirements, call 403-268-5311.

Please note: It is the responsibility of the applicant to ensure that the work being carried out does not contravene the requirements of restrictive covenants, caveats or any other restrictions registered against the property.

Where do I apply?

Applications are accepted in person only. The Development & Building Approvals customer service counter is located on the third floor of the Calgary Municipal Building, 800 Macleod Tr. SE.



What do I need to bring?

Your application must be accompanied by:

- Two copies of a Site Plan for the property.

Note: It may be necessary to submit two copies of a Real Property Report, prepared by an Alberta Land Surveyor.

- Two sets of Building Plans.
- The names of any contractors who will be working on your project. Note: Contractors are required to hold a valid City of Calgary business licence. It is recommended that you call 3-1-1 before you hire a contractor to confirm their licence status.
- Fees - Application fees vary. For more information call 403-268-5311.

What is a Site Plan?

A Site Plan is a “bird’s-eye view” drawing of your property that clearly shows the layout and dimensions of:

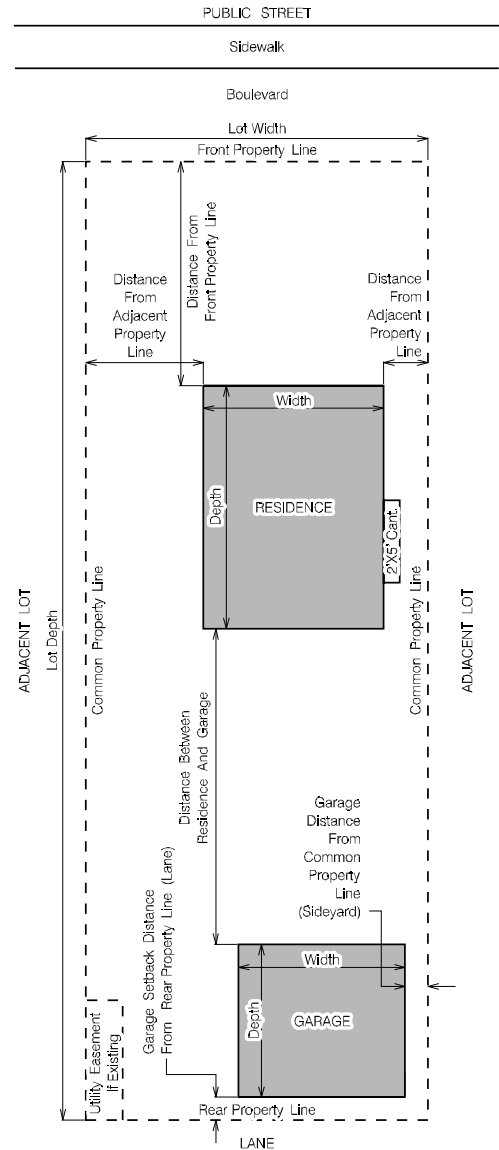
- The lot and all existing and proposed buildings and structures, including cantilevers.
- All abutting streets, avenues, lanes and adjoining properties.
- Easements and Utility Rights-of-Way.

You may prepare your own Site Plan, drawn to a scale of not less than 1”=20’ or 1:200 in metric, although a recent survey certificate is preferred. Your drawings must be fully dimensioned and will be accepted in metric or imperial, but not a combination of both.

The following information must be clearly labeled on your drawings:

- north arrow
- the street address
- the site’s legal description

The following sample Site Plan is NOT scaled appropriately for an actual building permit application, but is provided for your reference to be used as a guide:



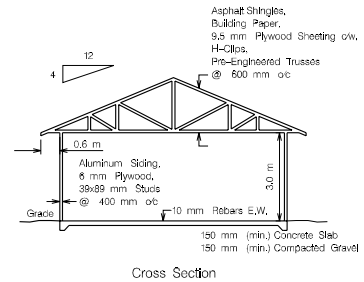
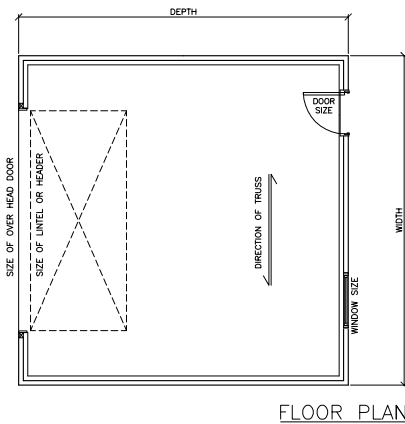
What are Building Plans?

Building Plans are working drawings of proposed construction that generally include the following perspectives:

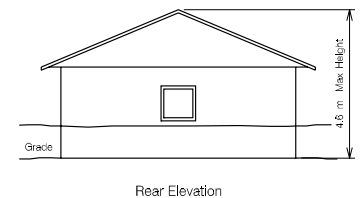
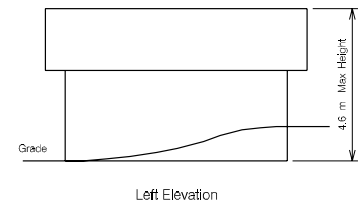
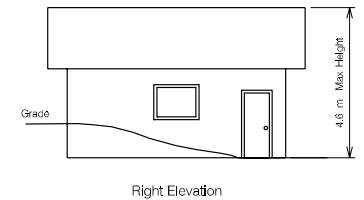
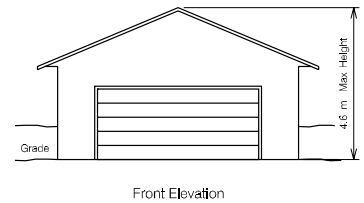
- **Floor Plans** – show the layout, dimensions and use of rooms and spaces; the size of all structural members, such as beams and columns; the size of windows and doors; the provisions made for heating & ventilation; the location and rating of fire separations; and the location of smoke alarms.
- **Cross-Sections** – show ceiling heights of rooms and spaces; the construction of walls, including damp-proofing; the structural details; fire separations; and sound separation.
- **Elevations** – show the front, sides and rear of a building in relation to the exterior ground surface (grade).

Plans must be drawn to scale, preferably $\frac{1}{4}''=1'$ or 1:50 in metric (accepted minimum scale is $\frac{3}{16}''=1'$), and will be accepted in metric or imperial, but not a combination of both.

The following sample Building Plans are NOT scaled appropriately for an actual building permit application, but are provided for your reference to be used as a guide:



NOTE:
Should you choose to make your own roof trusses they must be constructed in accordance with the C.M.I.C. publication "Canadian Wood-Frame House Construction" -Appendix B



Why am I required to submit plans?

Plans are examined as part of the approval process to ensure the proposed construction complies with the rules outlined in The City of Calgary Land Use Bylaw and with the safety standards specified in the Alberta Building Code.

What are the rules and safety standards for detached garages and carports?

Some of the bylaw, code requirements and considerations for detached garages and carports are:

- In most communities, the maximum lot coverage for all buildings on the property cannot exceed 45.0 per cent. The maximum area covered by accessory buildings cannot exceed 75 m² or the building coverage of the main residential building, whichever is the lesser. To determine the maximum coverage allowed in your area, please contact Development & Building Approvals at 403-268-5311.
- The maximum height of a detached garage or carport is 4.6 m above grade, measured from the finished floor of the building.
- The maximum eave line height of a detached garage or carport is 3.0 m, measured from the finished floor of the building.
- The building eave can be no closer than 0.45 m to a property line.
- A detached garage or carport must have a minimum of 1.0 m of separation from a house.
- A deck is not permitted to be constructed on the roof of a detached garage or carport.
- A detached garage or carport cannot be located in a front yard.

- A detached garage can have only one storey (except in the case of a secondary suite. Please refer to the brochure called *Secondary suites*).
- A detached garage must be 0.6 m from all property lines unless:
 - The garage has vehicle access off of a street; then, a 6.0 m driveway length with a minimum 3.0 m width is required, measured from the back of the public sidewalk or, where there is no public sidewalk, measured from the curb.
 - The garage is on a corner lot; then, 1.2 m is required or, if there is no lane, 3.0 m is required from the street side property line.
 - The exterior of the garage wall is constructed of maintenance-free materials; and the wall is fire rated and equipped with downspouts and eaves troughs that direct water run-off onto the same lot then, a required 0.6 m side yard can be reduced to 0.0 m.
- A carport typically consists of a roof supported by columns with completely open sides except where it is attached to the main building. If some of the sides of the carport (excluding those common with the main building) are partially or wholly covered (e.g. if there are short walls on these sides), the carport must be treated as a garage for the purpose of determining the percentage of unprotected openings (e.g. windows) allowed and/or the fire resistance rating of the wall.
- Foundation support (e.g. a 200 mm diameter concrete pier that extends 1.2 m below grade) must be provided under carport columns.

- Two-storey garages and garages constructed with masonry veneer or concrete must have foundation walls and footings 1.2 m (minimum) below grade around the perimeter, OR the design of the foundation must be signed and sealed by an engineer licensed to practise in the province of Alberta. It is recommended that garages over 55 m² (approximately 592 ft²) in building area meet these same requirements.
- If your lane is not paved it is recommended that a lane grade be established so that your garage or carport floor will be at the correct elevation in relation to the lane. There is a fee for this service. Please contact Development Site Servicing at 403-268-5795.
- Provincial regulations prohibit the construction of a garage over a gas line. If you are faced with this problem, you can either move the garage at least 30 cm (1 ft) from the gas line or have the service line relocated. For more information, contact your gas service provider.
- Before you dig, reduce the risk of personal injury and property damage by contacting Alberta One-Call at 1-800-242-3447 to request to have the location of your utilities marked.

Please note: The above is not a complete list of requirements. For more detail on the specific rules applicable to your property, please contact Development & Building Approvals at 403-268-5311.

You can find an electronic copy of the bylaw on The City's website at calgary.ca/landusebylaw.

For detailed and complete building codes and fire regulations, please refer to the Alberta Building Code and the Alberta Fire Code website at municipalaffairs.gov.ab.ca or contact the Province of Alberta's Municipal Affairs and Housing Safety Services branch at 1-866-421-6929.

When will I get my permit?

Applications for detached garages and carports can be processed on a same day basis, provided your application is complete and complies with The City of Calgary Land Use Bylaw and the Alberta Building Code.

A message from City Roads

If your construction plans will affect your gravel lane in any way (e.g. excavating, building a garage or landscaping), here are some things you should know.

Before you start

It is advised to clear away the existing top layer of road gravel from the area where any foreign materials may be placed. Separate this gravel and pile it to be used again to restore the area when you're finished building/landscaping.

During construction

Avoid letting topsoil, clay, loam, sod, concrete, aggregates or any other materials encroach onto the lane. The homeowner/contractor is responsible for ensuring these materials do not block lane access or contaminate the lane both during and after construction.

After the work is done

It is the responsibility of the homeowner/contractor to restore the lane to its original condition and fill any depressions, voids or deviations left as a result of construction or excavation. If the lane is not restored to its original condition, the homeowner will be invoiced for all costs incurred by The City to make the repairs.

See The City of Calgary Street Bylaw 20M88 for more information.

For more information:

Monday to Friday, 8 a.m. to 4:30 p.m.

In person:

The City of Calgary
Development & Building Approvals
Customer Service Counter
Third Floor, Calgary Municipal Building
800 Macleod Tr. S.E.
Calgary, Alberta T2P 2M5

By phone:

403-268-5311

Online:

calgary.ca/dba



THE CITY OF
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These brochures have no legal status and cannot be used as an official interpretation of the various bylaws, codes and regulations currently in effect. The City of Calgary accepts no responsibility to persons relying solely on this information.

Brochures are updated periodically.
Contact Development & Building Approvals to determine if you have the most recent edition.



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